PLANNING AND ZONING PERMIT APPLICATION SUBMISSION

CIVIL DRAWINGS - LAMOUREUX & DICKINSON

C1	SITE PLAN
C2	EXISTING CONDITIONS & DEMOLITION PLAN
C3	UTILITY & GRADING PLAN NORTH
C4	UTILITY & GRADING PLAN SOUTH
C5	EROSION PREVENTION & SEDIMENT CONTROL PLAN
C6	LANDSCAPING PLAN
C7	DRIVE, PARKING, & SIDEWALK DETAILS & SPECIFICATIONS
C8	WATER, STORM, & SEWER DETAILS & SPECIFICATIONS
C9	STORMWATER & EPSC DETAILS
PL	PROPERTY PLAT

ARCHITECTURAL DRAWINGS - GARDNER KILCOYNE

A0	COVER SHEET
A1	LOWER LEVEL PLAN
A2	LEVEL 1 PLAN
A3	PROPERTY LINE DIAGRAMS
A4	BUILDING HEIGHT DIAGRAMS
A5	ELEVATIONS WITH MATERIAL KEYS
A6	WALL ASSEMBLIES / 3D IMAGES
A7	EXTERIOR WINDOWS, DOORS, AND CURTAIN WALL
A8	SHADOW STUDIES
A9	SITE SECTIONS
L1	ELEVATION (St Paul Street)
L2	ELEVATIONS (Maple St, Brown's Court, King St)
L3	ELEVATIONS (Brown's Court)

ELECTRICAL DRAWINGS - PEARSON & ASSOCIATES

E2.0S	LOWER LEVEL SOUTH LIGHTING PLAN
E2.0ph	LOWER LEVEL PHOTOMETRIC DIAGRAM
E2.1N	LEVEL 1 NORTH LIGHTING PLAN
E2.1ph	LEVEL 1 PHOTOMETRIC DIAGRAM

UNIT & BED COUNT

	LOWER LEVEL	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	LEVEL 6	TOTAL UNITS	TOTAL BEDS
1 BEDROOM	-	1	4	4	4	4	-	17	17
2 BEDROOM	-	4	9	9	9	5	-	36	72
3 BEDROOM	-	5	8	8	8	4	-	33	99
4 BEDROOM	-	2	4	4	4	3	-	17	68
4 BEDROOM LOFT	-	-	-	-	-	12		12	48
TOTAL UNITS	-	12	25	25	25	28	-	115	
TOTAL BEDS	-	32	62	62	62	86	-		304

FAR CALCULATION

TOTAL GROSS BUILDING AREA: 186,015 SF
TOTAL GROSS LOT AREA: 1.0 ACRE
186,015 / 43,560 = **4.27 FAR**

LOT COVERAGE CALCULATION

TOTAL LOT COVERAGE = 38,243sf OR 88%.
THIS INCLUDES THE BUILDING, SIDEWALK, PAVEMENT, BROWN'S COURT, UTILITY VAULT, AND RETAINING WALL.

PARKING COUNT

SOUTH (LOWER) PARKING LOT - 42 SPACES
NORTH (UPPER) PARKING LOT - 25 SPACES
TOTAL: 67 SPACES, INCLUDING 4 ADA

PROJECT TEAM

DEVELOPER and CONSTRUCTION MANAGER
Eagles Place, LLC
599 Avenue D
Williston, VT 05495
(802) 864-5830
Bob Miller

ARCHITECT
Gardner Kilcoyne Architects
289 Leroy Road #102
Williston, Vermont 05495
802-655-0145
Liza Kilcoyne

MECHANICAL & ELECTRICAL ENGINEERS
Pearson & Associates, Inc.
174 Thomas Lane • P.O. Box 610
Stowe VT 05672
802-253-9607
Alan Gould

CIVIL ENGINEER
Lamoureux & Dickinson Engineering
14 Morse Dr.
Essex Junction, VT 05452
802-878-4450
Andy Rowe

STRUCTURAL ENGINEER
Sharp Point Engineering, PC
4398 Route 22 • P0 Box 40
Plattsburgh, NY 12901
518-324-2828
Jesse Ringer

FIRE PROTECTION CONSULTANT
RN Culver Consulting, Inc.
142 Sand Hill Road
Essex Junction, VT 05452
Ph: 802-878-8240
Dick Culver

Eagles Place, LLC

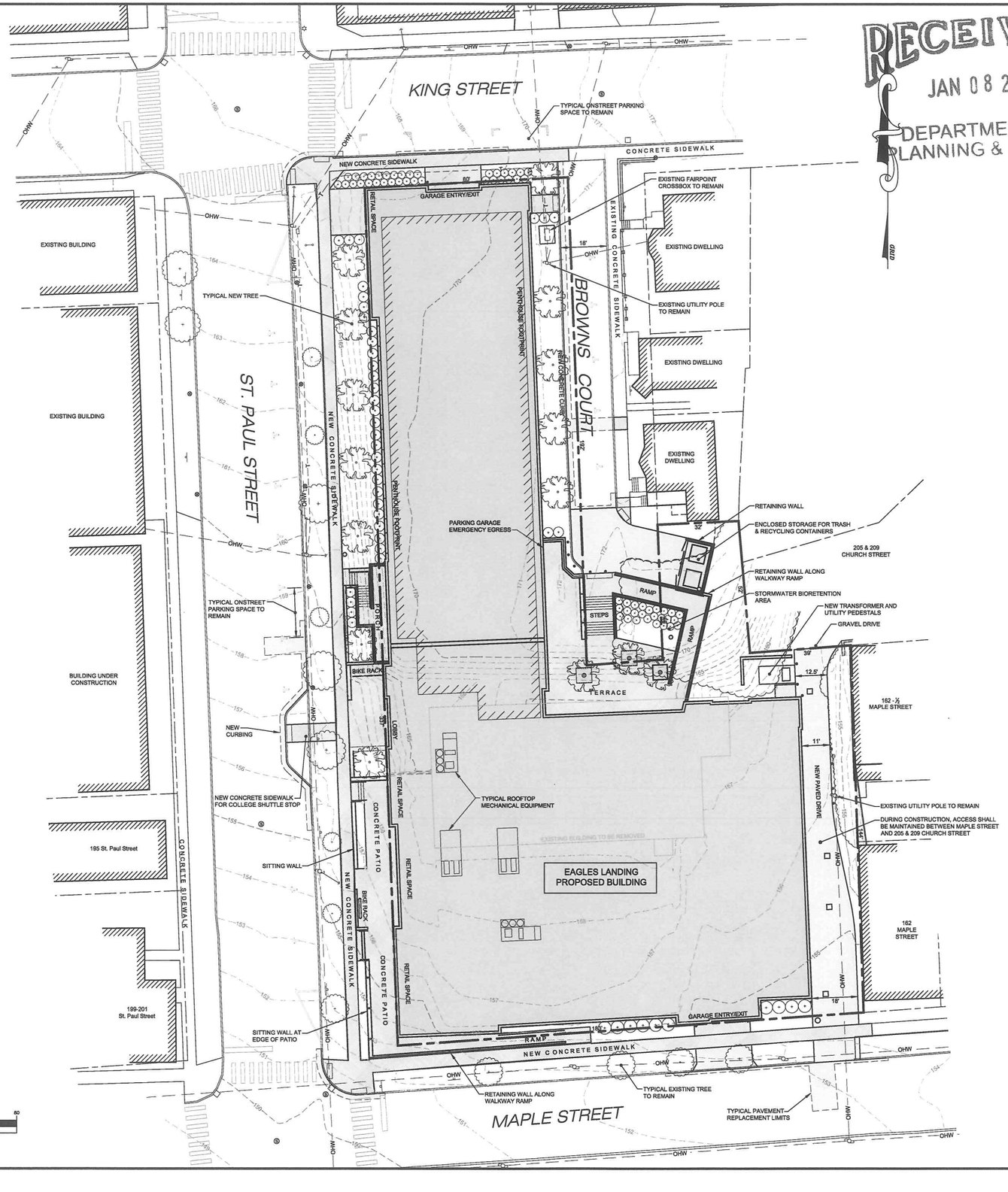
EAGLE'S LANDING APARTMENTS

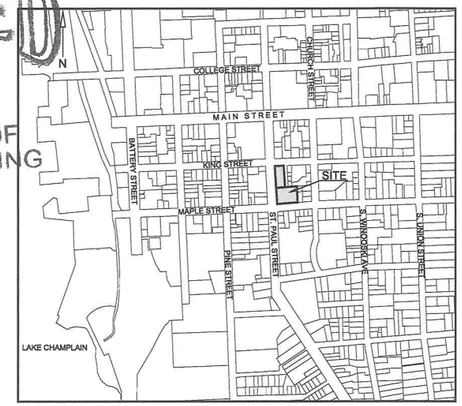
ST. PAUL STREET, BURLINGTON, VERMONT

COVER SHEET
SUBMITTED 12/31/2013

PERMIT APPLICATION SUBMISSION

A0





LOCATION MAP
NOT TO SCALE

LEGEND

- PROJECT PROPERTY LINE
- ABUTTING PROPERTY LINE
- 170 EXISTING CONTOUR
- OHW EXISTING OVERHEAD UTILITY LINE
- EXISTING PARKING METER
- EXISTING SIGN
- EXISTING STREET TREE
- PROPOSED TREE
- PROPOSED SHRUBS / PERENNIALS
- PROPOSED CONCRETE
- PROPOSED PAVEMENT

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 inch = 20 ft.

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO PRESENT THE SITE LAYOUT FOR THE PROPOSED REDEVELOPMENT OF THE FORMER EAGLES CLUB PROPERTY AND THE PUBLIC PARKING LOT. SEE OTHER SHEETS AND ARCHITECTURAL PLANS FOR ADDITIONAL DESIGN RELATED INFORMATION AND EXISTING CONDITIONS.

2. BOUNDARY INFORMATION IS BASED UPON THE PROPERTY PLAT INCLUDED IN THIS PLAN SET. THIS PROJECT INVOLVES MERGING LOTS CURRENTLY OWNED BY CHAMPLAIN COLLEGE, INC. AND THE CITY OF BURLINGTON.

3. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND THE LOCATION AND ELEVATION OF ALL ENTRANCES AND UTILITY SERVICES WITH THE ARCHITECTURAL PLANS.

Date	Revision	By

These plans shall only be used for the purpose shown below:

- ☐ Sketch/Concept
- ☐ Preliminary
- ■ Final Local Review
- ☐ Act 250 Review
- ☐ Construction
- ☐ Record Drawing

EAGLES LANDING APARTMENTS
ST. PAUL STREET BURLINGTON, VT

SITE PLAN

Project No.	13056
Survey	JPS/MJR
Design	N/A
Drawn	ABR
Checked	DJG
Date	12-30-13
Scale	
Sheet number	C1

Lamoureux & Dickinson
Consulting Engineers, Inc.
14 Morse Drive, Essex, VT 05452
802-878-4450 www.LDengineering.com

THE CONTRACTOR SHALL NOTIFY DIG SAFE® AT 811 PRIOR TO ANY EXCAVATION.

DEMOLITION NOTES:

1. THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF THE EXISTING SURFACES, STRUCTURES, AND UTILITIES WITH THE OWNER, UTILITY COMPANIES, AND THE CITY OF BURLINGTON.

2. THE RELOCATION OF EXISTING UTILITIES SHALL BE COMPLETED IN COORDINATION WITH THE UTILITY COMPANY AND OWNER, WITH WORK IN ACCORDANCE WITH THE UTILITY COMPANY'S SPECIFICATIONS FOR CONSTRUCTION.

3. EXISTING FOUNDATIONS AND STRUCTURES, NOT SHOWN ON THIS PLAN, MAY EXIST BELOW GRADE ON THE SITE. IF ENCOUNTERED, THEY SHALL BE IMMEDIATELY REPORTED TO THE OWNER AND STRUCTURAL ENGINEER. AT A MINIMUM, EXISTING FOUNDATIONS AND STRUCTURES SHALL BE REMOVED TO A DEPTH OF AT LEAST 2 FEET BELOW THE BOTTOM OF THE SUBGRADE OR ANY TRENCH BEDDING.

3. WHERE REQUIRED, EXISTING UTILITY SERVICE AND ACCESS SHALL BE MAINTAINED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND PROVISION OF TEMPORARY UTILITY SERVICES AND ACCESS AS REQUIRED. PAYMENT FOR THIS WORK SHALL BE INCIDENTAL TO THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

4. EXISTING STRUCTURES, PAVEMENT, SURFACES, AND UTILITIES SHALL BE REMOVED WHERE INDICATED ON THE PLANS, AND AS NECESSARY TO CONSTRUCT AND COMPLETE THE IMPROVEMENTS SHOWN ON THE PLANS. THE EXCAVATION, REMOVAL, AND DISPOSAL OF MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE LAWS, RULES, REGULATIONS, AND PROTOCOLS. THE WORK SHALL INCLUDE THE EXCAVATION, DISPOSAL, BORROW, AND PLACEMENT OF SUITABLE MATERIAL IN CONFORMANCE WITH THE LINES, GRADES, AND TYPICALS SHOWN ON THE PLANS.

UTILITY CONSTRUCTION NOTES:

1. THE LOCATIONS AND PIPE MATERIAL OF THE WATER AND SEWER SERVICES AND MAINS ARE BASED UPON RECORD INFORMATION PROVIDED BY THE PUBLIC WORKS DEPARTMENT AND FIELD OBSERVATIONS. THE ACTUAL LOCATION OF THE EXISTING MAINS AND SERVICES MAY VARY FROM THAT SHOWN ON THIS PLAN.

2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PERFORM EXPLORATORY TEST PITS TO VERIFY THE HORIZONTAL LOCATION AND AND ELEVATION OF THE WATER AND SEWER SERVICES TO THE FORMER EAGLES CLUB BUILDING. TIES FOR, AND THE ELEVATION OF, EACH SERVICE SHALL BE REPORTED TO THE ENGINEER.

3. ALL UTILITY WORK SHALL BE PERFORMED IN A MANNER THAT MINIMIZES INTERRUPTIONS IN SERVICE TO OTHER ADJACENT USERS.

4. WHERE TEMPORARY INTERRUPTIONS IN UTILITY SERVICES ARE REQUIRED, THE CONTRACTOR SHALL COORDINATE WITH THE DEPARTMENT OF PUBLIC WORKS AND SHALL PROVIDE WRITTEN NOTICE TO AFFECTED USERS IN ACCORDANCE WITH THE DEPARTMENT REQUIREMENTS.

CITY RIGHT OF WAY REQUIREMENTS:

1. AUTHORIZATION FROM THE DEPARTMENT OF PUBLIC WORKS SHALL BE OBTAINED PRIOR TO PERFORMING ANY WORK WITHIN THE CITY'S RIGHT OF WAY ALONG BROWNS COURT, KING STREET, ST. PAUL STREET, AND MAPLE STREET.

2. THE SITE CONTRACTOR SHALL IMPLEMENT TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEPARTMENT OF PUBLIC WORKS AND THE MUTCD. WORK SHALL CONFORM WITH THE VTRANS STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE 'T-STANDARDS' OF THE VTRANS CONSTRUCTION STANDARDS.

3. SIDEWALK CLOSURES SHALL BE APPROVED IN ADVANCE BY THE DEPARTMENT OF PUBLIC WORKS. ALTERNATE PEDESTRIAN ROUTES SHALL BE DESIGNATED AND IDENTIFIED IN ACCORDANCE WITH THE MUTCD.

4. ALL WORK AND DISTURBANCE WITHIN THE CITY RIGHT OF WAY SHALL BE LIMITED TO THAT SPECIFIC AREA APPROVED. WORK SHALL NOT EXTEND BEYOND THE APPROVED LIMITS OF DISTURBANCE.

5. UNLESS APPROVED OTHERWISE, THERE SHALL BE NO DISTURBANCE OF THE GREEN STRIP BETWEEN THE SIDEWALK AND CURB ALONG ST PAUL STREET AND MAPLE STREET. THIS SHALL INCLUDE THE EXISTING TREES IN THIS GREEN STRIP. SPECIAL CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE TREES AND TO THE SURROUNDING GRASS AREAS.

6. NO VEHICLE PARKING OR STORAGE OF MATERIALS SHALL BE ALLOWED IN THE GREEN STRIP BETWEEN THE SIDEWALK AND CURB ALONG ST PAUL STREET AND MAPLE STREET.

STORM STRUCTURE DATA

MH M1.06
RIM = 149.6
10" VC IN = 140.5 (NE)
10" VC IN = 143.5 (SE)
12" VC IN = 139.4
72" CONC IN = 139.4
72" CONC OUT = 137.1

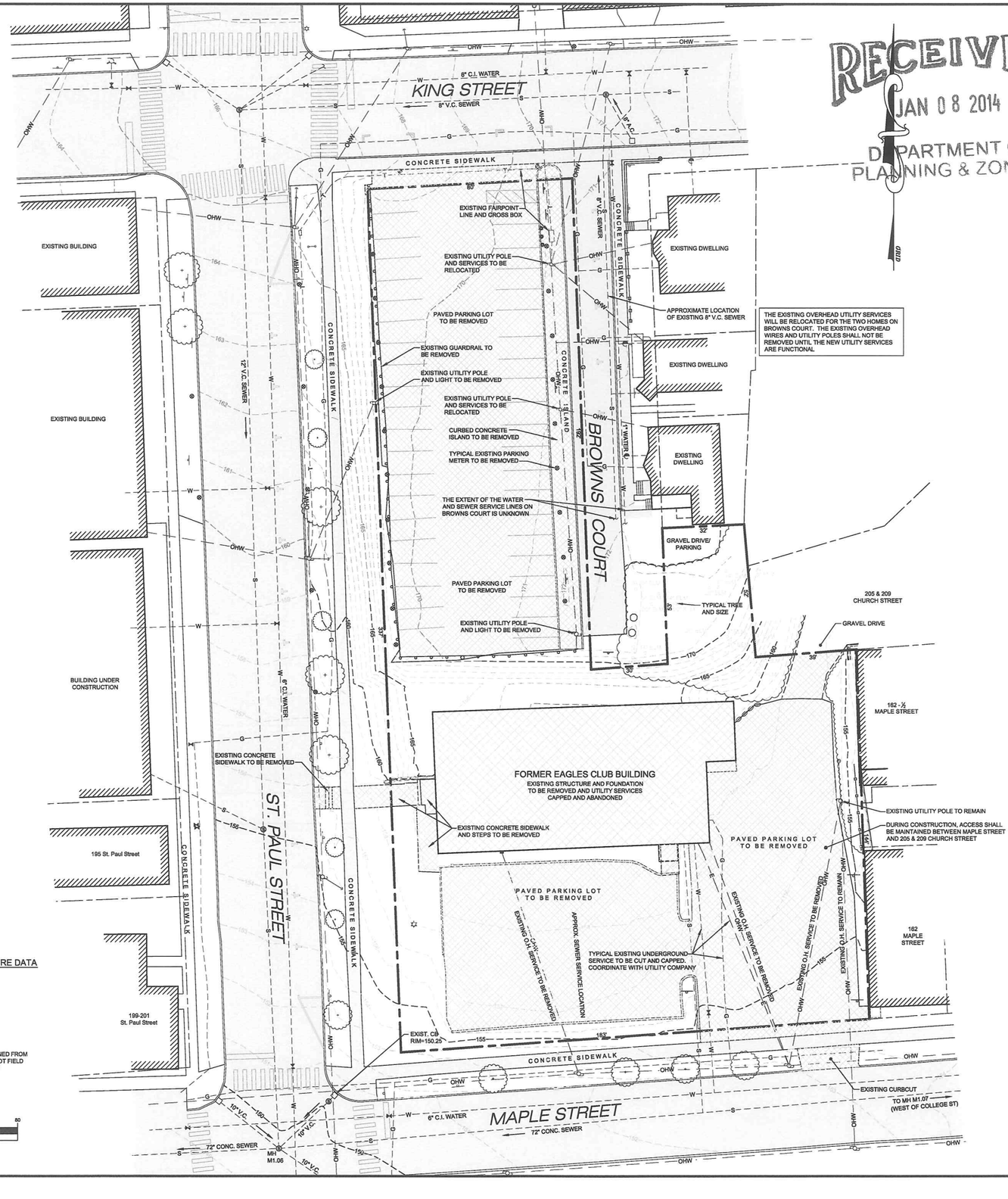
MH M1.07
RIM = 159.3
72" CONC OUT = 148.6

PIPE INVERT DATA OBTAINED FROM BURLINGTON DPW AND NOT FIELD VERIFIED BY THIS OFFICE

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.



RECEIVED
JAN 08 2014
DEPARTMENT OF PLANNING & ZONING

LOCATION MAP

NOT TO SCALE

PROJECT DATA

PROJECT AREA = 0.998 ACRE

EAGLES CLUB PARCEL = 0.604 ACRE
CITY PARKING LOT PARCEL = 0.354 ACRE
CITY BROWNS COURT LOT = 0.040 ACRE

LEGEND

- PROJECT PROPERTY LINE
- ABUTTING PROPERTY LINE
- 170 EXISTING CONTOUR
- EXISTING FENCE
- EXISTING GUARDRAIL
- OHW EXISTING OVERHEAD UTILITY LINE
- W EXISTING WATER LINE AND GATE VALVE
- EXISTING SEWER LINE AND MANHOLE
- G EXISTING GAS LINE
- T EXISTING TELEPHONE LINE
- EXISTING PARKING METER
- EXISTING SIGN
- EXISTING PAVEMENT AND CONCRETE TO BE REMOVED

Date	Revision	By

These plans shall only be used for the purpose shown below:

- ☐ Sketch/Concept
- ☐ Preliminary
- ■ Final Local Review
- ☐ Act 250 Review
- ☐ Construction
- ☐ Record Drawing

EAGLES LANDING APARTMENTS

ST. PAUL STREET BURLINGTON, VT

EXISTING CONDITIONS & DEMOLITION PLAN

Project No.	13056
Survey	JPS/MJR
Design	N/A
Drawn	ABR
Checked	DJG
Date	12-30-13
Scale	
Sheet number	C2

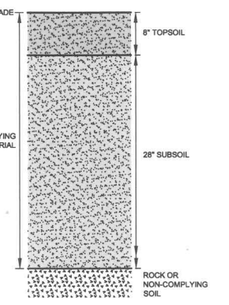
Lamoureux & Dickinson
Consulting Engineers, Inc.
14 Morse Drive, Essex, VT 05452
802-878-4450 www.LDengineering.com

PLANT LIST

Key	Species Name	Common Name	Size	Remarks
Trees				
AL	*Amelanchier laevis*	Allegheny Serviceberry	1.5 - 2" caliper	Single-stem, B&B or container
AR	*Acer rubrum*	Red Maple	2 - 2.5" caliper	B&B or container, own-rooted
CA	*Cornus alternifolia*	Pagoda Dogwood	1.5 - 2" caliper	Single-stem, B&B or container
CV	*Chionanthus virginicus*	White Fringetree	2 - 2.5" caliper	Single-stem, B&B or container
HV	*Hamamelis virginiana*	Witchhazel	1.5 - 2" caliper	Single-stem, B&B or container
OV	*Ostrya virginiana*	American Hophornbeam	1.5 - 2" caliper	Single-stem, B&B or container
Shrubs				
AA	*Aronia arbutifolia* 'Brilliantissima'	Red Chokeberry	24" minimum height	Container
AM	*Aronia melanocarpa* 'Autumn Magic'	Black Chokeberry	24" minimum height	Container
AS	*Amelanchier stolonifera*	Running Serviceberry	24" minimum height	Container
CL	*Clethra alnifolia* 'Ruby Spice'	Summersweet	24" minimum height	Container
CR	*Cornus racemosa*	Gray Dogwood	24" minimum height	Container
CO	*Corylus americana*	American Hazelnut	24" minimum height	Container
IV	*Ilex verticillata* 'Winter Red'	Winterberry	24" minimum height	Container
IV2	*Ilex verticillata* 'Southern Gentleman'	Winterberry (male)	24" minimum height	Container
LB	*Lindera benzoin*	Spicebush	24" minimum height	Container
PM	*Prunus maritima*	Beach Plum	24" minimum height	Container
TC	*Taxus cuspidata* 'Densa'	Spreading Yew	24" minimum height	Container
VC	*Viburnum cassinoides*	Wild Raisin	24" minimum height	Container
Perennials				
AC	*Aquilegia canadensis**	Columbine	1-gallon	12" on center
AT	*Asclepias tuberosa*	Butterfly Milkweed	1-gallon	15" on center
BA	*Baptisia australis*	Blue False Indigo	1-gallon	36" on center
EP	*Echinacea purpurea*	Purple Coneflower	1-gallon	36" on center
HD	*Helianthus divaricatus*	Woodland Sunflower	1-gallon	24" on center
HM	*Helianthus maximiliani*	Maximillian's Sunflower	1-gallon	
LC	*Lobelia cardinalis*	Cardinal Flower	1-gallon	18" on center
LS	*Lobelia siphilitica*	Great Blue Lobelia	1-gallon	18" on center
PH	*Physostegia virginiana*	Obedient Plant	1-gallon	24" on center
RF	*Rudbeckia fulgida*	Black-eyed Susan	1-gallon	30" on center
SE	*Symphyotrichum ericoides*	Heath Aster	1-gallon	18" on center
Groundcovers				
AU	*Arctostaphylos uva-ursi* 'Massachusetts'	Bearberry	4" pot	18" on center
CH	*Chrysogonum virginianum*	Green and Gold	Plug	12" on center
HA	*Heuchera americana*	American Alumroot	Plug	12" on center
IC	*Iris cristata**	Dwarf Crested Iris	Plug	12" on center
PS	*Phlox stolonifera**	Creeping Phlox	Plug	12" on center
WF	*Waldsteinia fragarioides*	Barren Strawberry	Plug	12" on center
Grasses and Sedges				
AG	*Andropogon gerardii*	Big Bluestem	1-gallon	36" on center
CF	*Carex flaccosperma*	Blue Wood Sedge	1-gallon	12" on center
PV	*Panicum virgatum*	Switch Grass	1-gallon	24" on center
SH	*Sporobolus heterolepis*	Prairie Dropseed	1-gallon	24" on center
SN	*Schizachyrium scoparium*	Indiangrass	1-gallon	24" on center
SS	*Sorghastrum nutans*	Little Bluestem	1-gallon	24" on center

* Use the species, not a cultivar.

LANDSCAPE SOIL SPECIFICATION

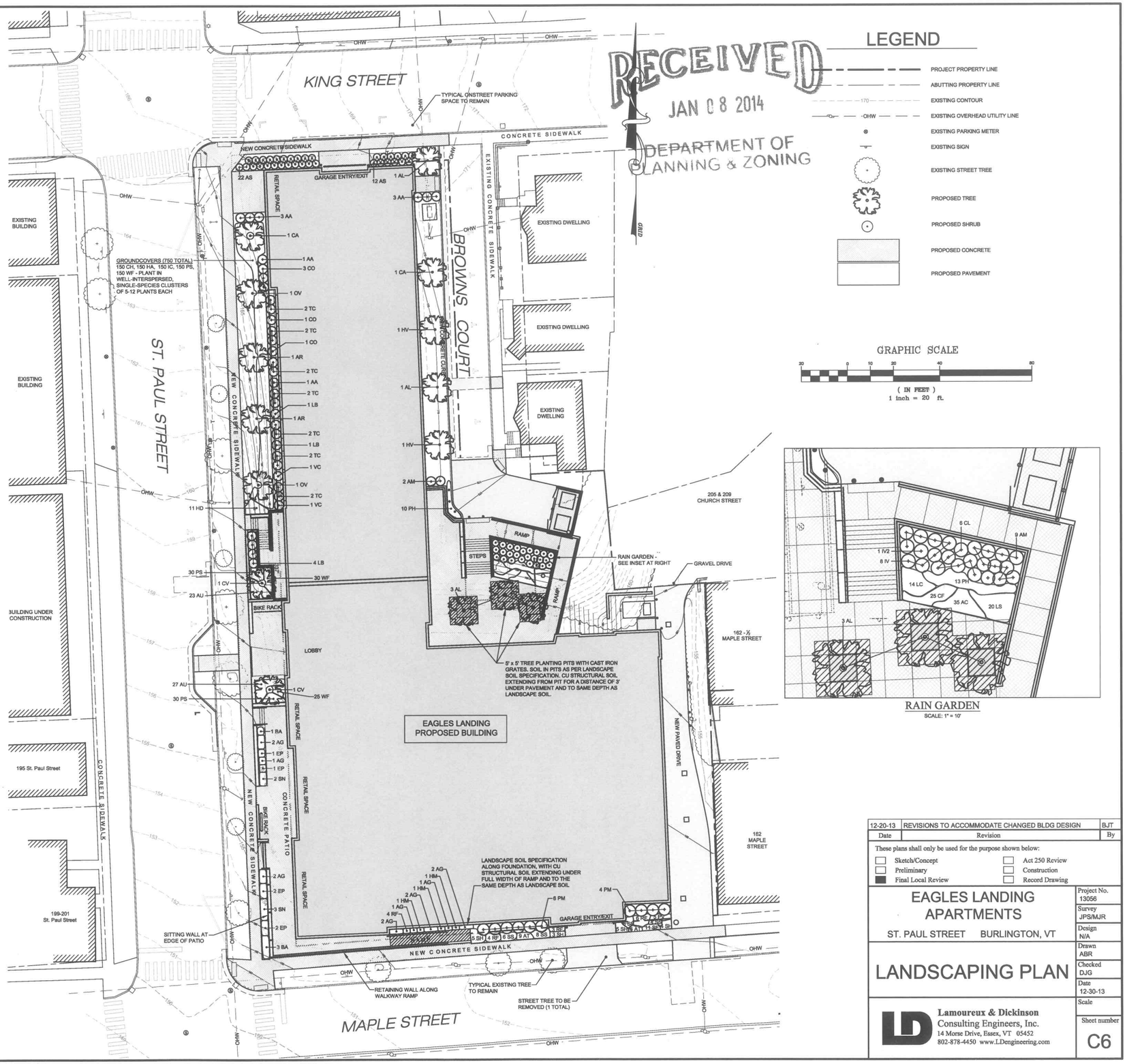


1. THIS SPECIFICATION TO BE USED FOR ALL PORTIONS OF THE PROJECT SITE WHERE SOIL WILL BE THE FINISHED SURFACE, WITH THE EXCEPTION OF THE RAIN GARDEN WHERE A SEPARATE SPECIFICATION WILL BE USED. AS NOTED ON THIS PLAN, THERE ARE OTHER AREAS WHERE CU-STRUCTURAL SOIL IS TO BE USED UNDER PAVEMENT.
2. TOPSOIL SHALL BE OBTAINED FROM NATURALLY WELL DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4 INCHES DEEP. TOPSOIL SHALL NOT BE OBTAINED FROM WETLANDS.
3. SOIL FURNISHED BY THE CONTRACTOR SHALL BE REASONABLY FREE FROM ROOTS, HARD CLAY, COARSE GRAVEL, STONES LARGER THAN TWO INCHES IN ANY DIMENSION, NOXIOUS WEEDS, TALL GRASS, BRUSH, STICKS, STUBBLE, AND ANY MATERIALS THAT WOULD BE DETRIMENTAL TO THE PROPER DEVELOPMENT OF VEGETATIVE GROWTH.
4. BOTH TOPSOIL AND SUBSOIL SHALL HAVE A TEXTURE OF FINE SANDY LOAM PER THE USDA TEXTURAL TRIANGLE AND CONFORMING TO THE FOLLOWING SPECIFICATIONS:

SIEVE NO.	%PASSING
2"	100
10	90-100
40	60-90
60	50-70
100	20-40
200	10-40

CLAY	LESS THAN 10%
pH	5.5 TO 7.0
ORGANIC MATTER	TOPSOIL: 10 - 15%, SUBSOIL: LESS THAN 10%

5. TO ASSURE THE GROWTH OF TREES, SHRUBS, AND OTHER PLANTS, THE SOIL MUST NOT BE COMPACTED. ANY AREAS OF INADVERTENTLY COMPACTED SOIL WILL NEED TO BE DECOMPACTED USING A SUBSOILER, CHISEL PLOW, OR BY EXCAVATION AND REPLACEMENT WITH UNCOMPACTED SOIL. DO NOT DRIVE EQUIPMENT ON THE SOIL AFTER IT HAS BEEN PLACED OR DECOMPACTED. FINE GRADING AND PLANTING OF SPECIFIED LANDSCAPING MAY BE DONE USING LOW GROUND PRESSURE EQUIPMENT, IF THIS CAN BE ACHIEVED WITHOUT COMPACTION.
3. ALL SOIL INTENDED FOR USE SHALL BE STOCKPILED ON SITE AND MEASURES TAKEN TO ENSURE THE MATERIAL IS CONSISTENT IN QUALITY. AFTER SOIL TESTING IS COMPLETED, NO ADDITIONAL MATERIAL MAY BE ADDED TO THE STOCKPILE. A MINIMUM OF TWO SUCCESSFUL, REPRESENTATIVE TESTS SHALL BE PROVIDED BY THE CONTRACTOR FROM THE STOCKPILED SOIL. ADDITIONAL TESTING WILL BE REQUIRED FOR ANY NEW OR ADDITIONAL STOCKPILES.
6. DO NOT PLACE SOIL MATERIALS IN WET OR MUDDY CONDITIONS. PROTECT THE MATERIALS AS NECESSARY USING TARPS OR MATTING. PROVIDE EROSION CONTROL TO PREVENT TRANSPORT OF SEDIMENT OR DUST AWAY FROM THE STORAGE AREA.
7. SOILS WITHIN THE FULL SPECIFIED DEPTH SHALL HAVE A BULK DENSITY NOT EXCEEDING 1.5 g/cm³. SOILS SHALL EXHIBIT THE FOLLOWING CONE PENETROMETER READINGS:
   - SURFACE RESISTANCE - LESS THAN 110 PSI (7.7 kg/cm²)
   - SUBSURFACE RESISTANCE - LESS THAN 260 PSI (18.3 kg/cm²)
8. ANY COMPOST THAT IS USED SHALL MEET THE REQUIREMENTS OF THE U.S. COMPOSTING COUNCIL "LANDSCAPE ARCHITECTURE / DESIGN SPECIFICATIONS FOR COMPOST USE", SECTION "COMPOST AS A LANDSCAPE BACKFILL MIX COMPONENT". THE ANALYSIS SHALL BE PROVIDED BY THE COMPOST SUPPLIER. BEFORE BEING DELIVERED TO THE SITE, THE SUPPLIER MUST PROVIDE THE FOLLOWING DOCUMENTATION:
   A. A STATEMENT THAT THE COMPOST MEETS FEDERAL AND STATE HEALTH AND SAFETY REQUIREMENTS
   B. THE SAMPLING AND TESTING METHODOLOGIES SHALL CONFORM WITH THE U.S. COMPOSTING COUNCIL'S "TEST METHOD FOR THE EXAMINATION OF COMPOSTING AND COMPOST".
9. SOIL QUALITY AND DEPTH SHALL BE ESTABLISHED TOWARD THE END OF CONSTRUCTION AND, ONCE ESTABLISHED, SHALL BE PROTECTED FROM COMPACTION, EROSION, AND OTHER DETRIMENTAL INFLUENCES THROUGH THE END OF CONSTRUCTION.
10. SUBMITTALS REQUIRED:
   A. SOIL ANALYSIS, INCLUDING
      - USDA PARTICLE SIZE ANALYSIS FOR PERCENTAGES OF GRAVEL, SAND, SILT, AND CLAY
      - USDA TEXTURE
      - NUTRIENT LEVELS IN PARTS PER MILLION FOR PHOSPHORUS, POTASSIUM, CALCIUM, MAGNESIUM, MANGANESE, IRON, COPPER, AND ZINC
      - PERCENTAGE ORGANIC MATTER
      - pH
      - ELECTRICAL CONDUCTIVITY (TOTAL DISSOLVED SOLIDS)
   B. COMPOST ANALYSIS, PER ITEM #8, ABOVE
   C. BEFORE DELIVERY OF SOIL MATERIALS TO THE SITE, REPRESENTATIVE SAMPLES SHALL BE SUBMITTED TO THE ENGINEER IN MINIMUM VOLUMES OF 1 GALLON FOR EACH MATERIAL USED. FOR VISUAL INSPECTION ONLY - CONTRACTOR IS SOLELY RESPONSIBLE FOR ASSURING THAT MATERIALS MEET THE SPECIFICATIONS.



RAIN GARDEN
SCALE: 1" = 10'

RECEIVED
JAN 08 2014
DEPARTMENT OF PLANNING & ZONING

LEGEND

- PROJECT PROPERTY LINE
- ABUTTING PROPERTY LINE
- 170 EXISTING CONTOUR
- OHW EXISTING OVERHEAD UTILITY LINE
- EXISTING PARKING METER
- EXISTING SIGN
- EXISTING STREET TREE
- PROPOSED TREE
- PROPOSED SHRUB
- PROPOSED CONCRETE
- PROPOSED PAVEMENT

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 inch = 20 ft.

Date	Revision	By
12-20-13	REVISIONS TO ACCOMMODATE CHANGED BLDG DESIGN	BJT

These plans shall only be used for the purpose shown below:

- ☐ Sketch/Concept
- ☐ Preliminary
- ■ Final Local Review
- ☐ Act 250 Review
- ☐ Construction
- ☐ Record Drawing

EAGLES LANDING APARTMENTS

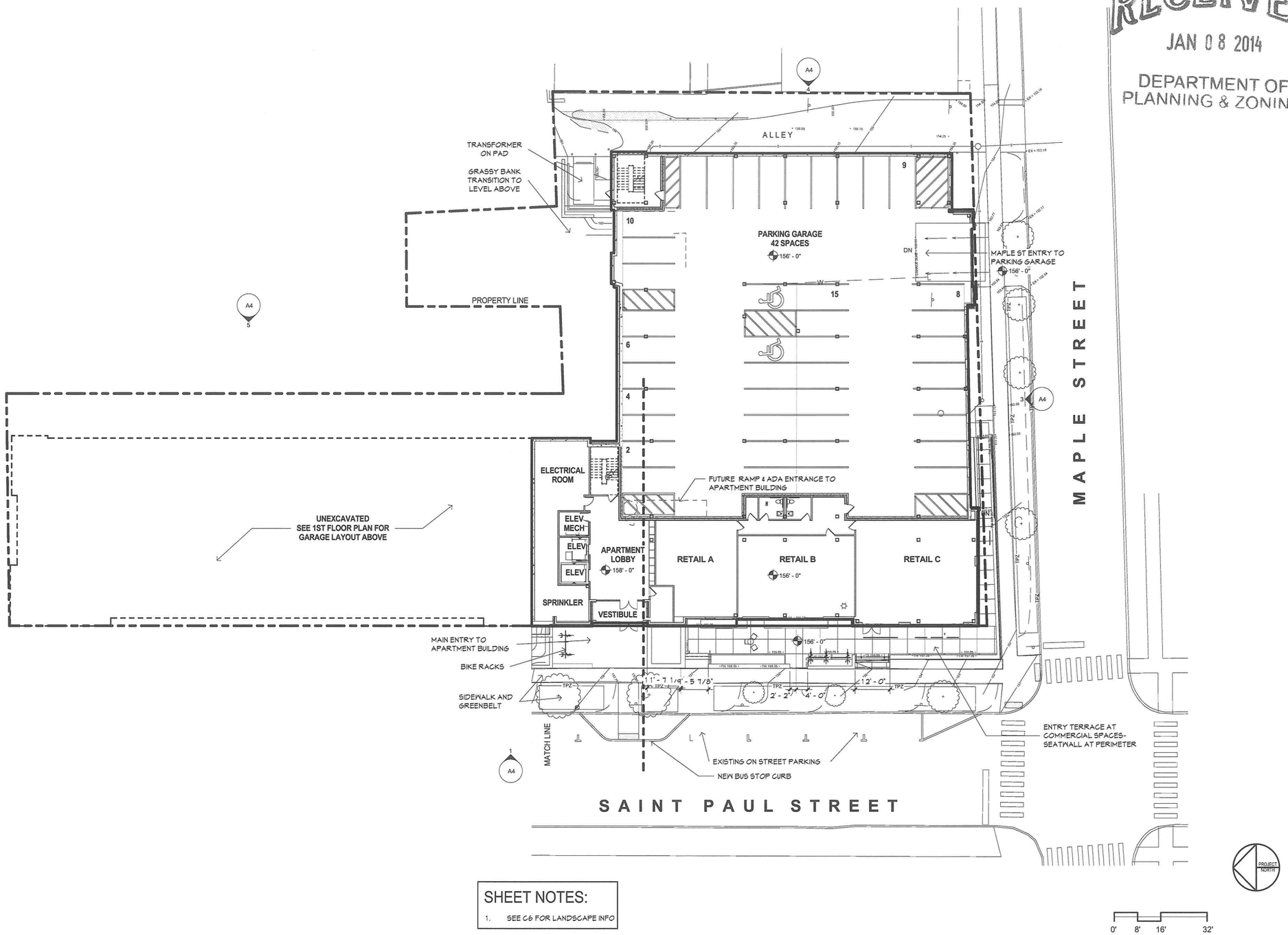
ST. PAUL STREET BURLINGTON, VT

Project No. 13056
Survey JPS/MJR
Design N/A
Drawn ABR
Checked DJG
Date 12-30-13
Scale

LANDSCAPING PLAN

Sheet number C6

Lamoureux & Dickinson
Consulting Engineers, Inc.
14 Morse Drive, Essex, VT 05452
802-878-4450 www.LDengineering.com



SHEET NOTES:

1. SEE C6 FOR LANDSCAPE INFO

Eagles Place, LLC

EAGLE'S LANDING APARTMENTS

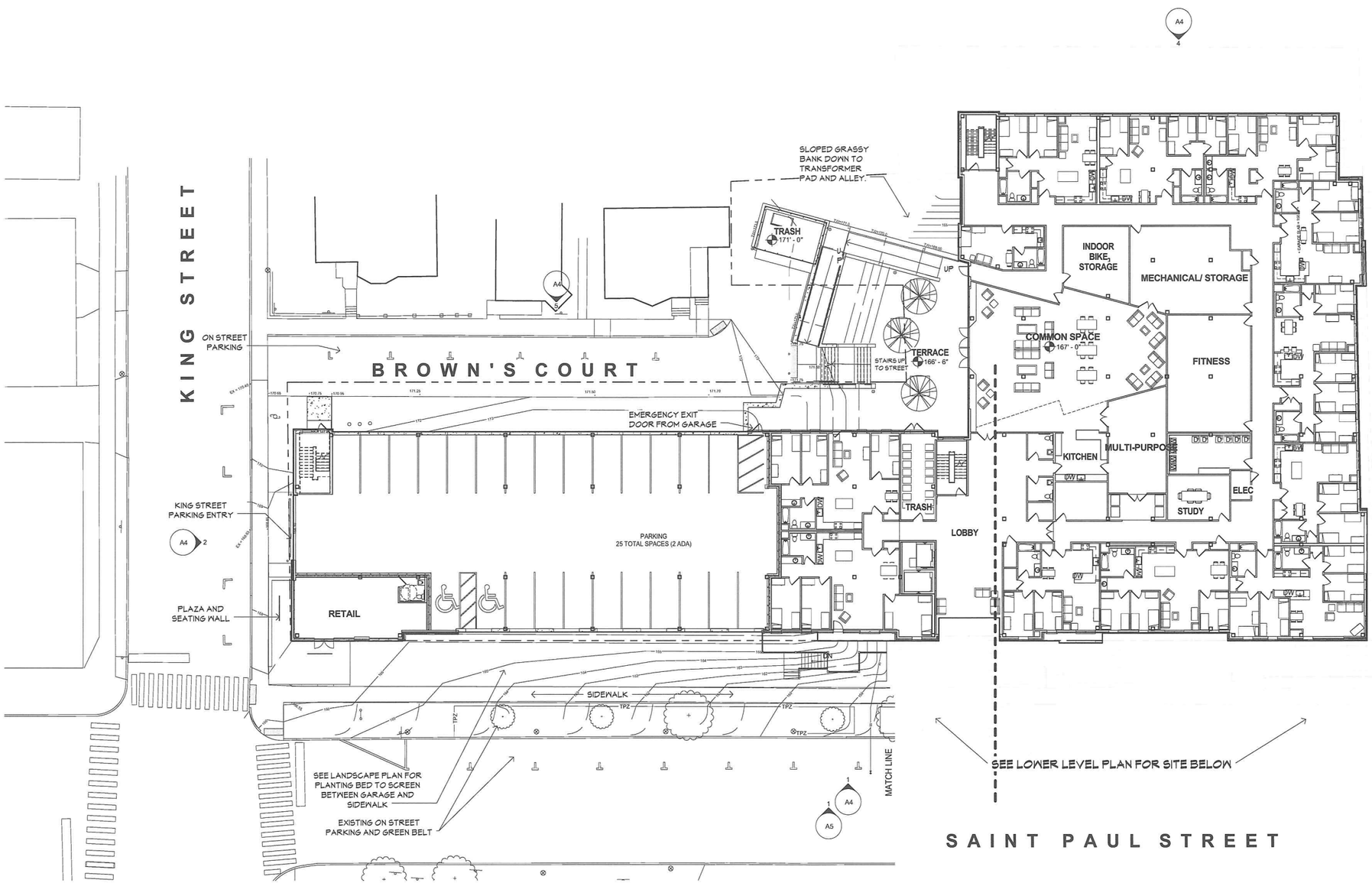
ST. PAUL STREET, BURLINGTON, VERMONT

LOWER LEVEL PLAN

SUBMITTED 12/31/2013

PERMIT APPLICATION SUBMISSION

A1



PROJECT NORTH

0' 8' 16' 32'

Eagles Place, LLC

EAGLE'S LANDING APARTMENTS

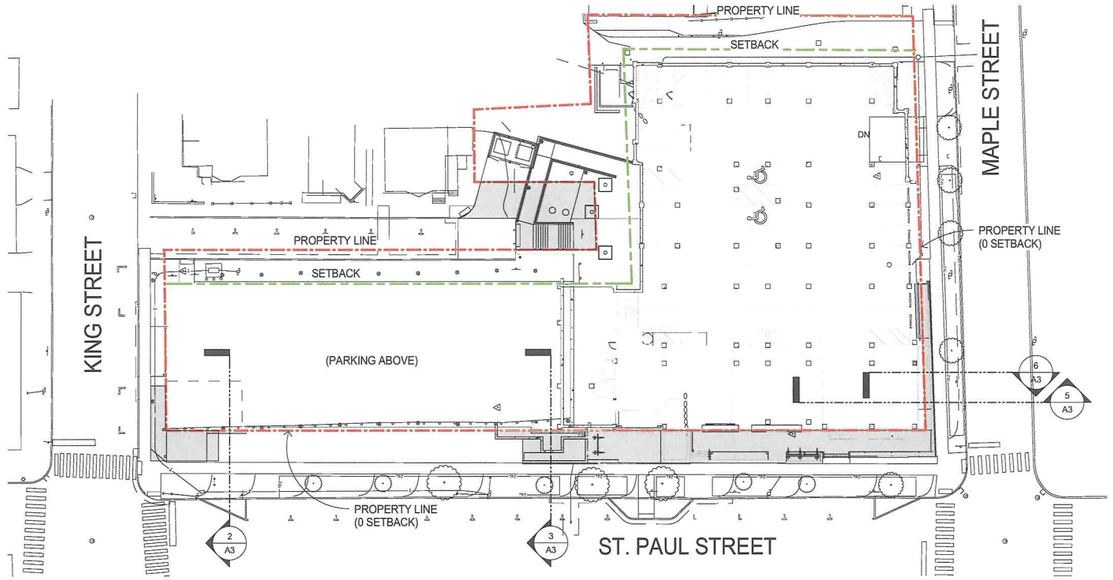
ST. PAUL STREET, BURLINGTON, VERMONT

LEVEL 1 PLAN

SUBMITTED 12/31/2013

PERMIT APPLICATION SUBMISSION

A2

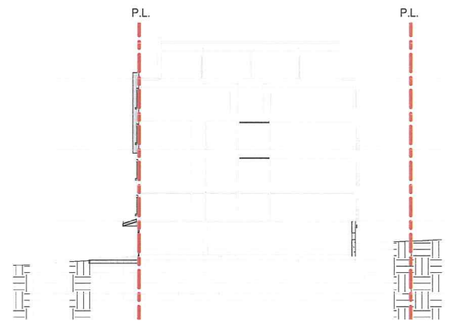


1 LOWER LEVEL FLOOR PLAN
1" = 30'-0"

0' 15' 30' 60'

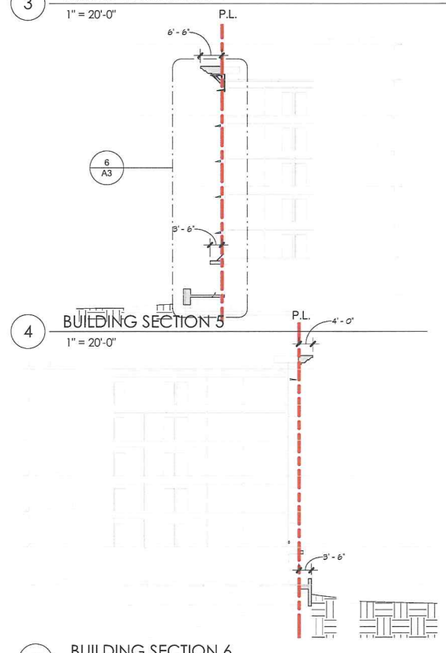
NOTES:

1. GREY FILL INDICATES EXTENT OF NEW CONSTRUCTION BEYOND PROPERTY LINES



2 BUILDING SECTION 3
1" = 20'-0"

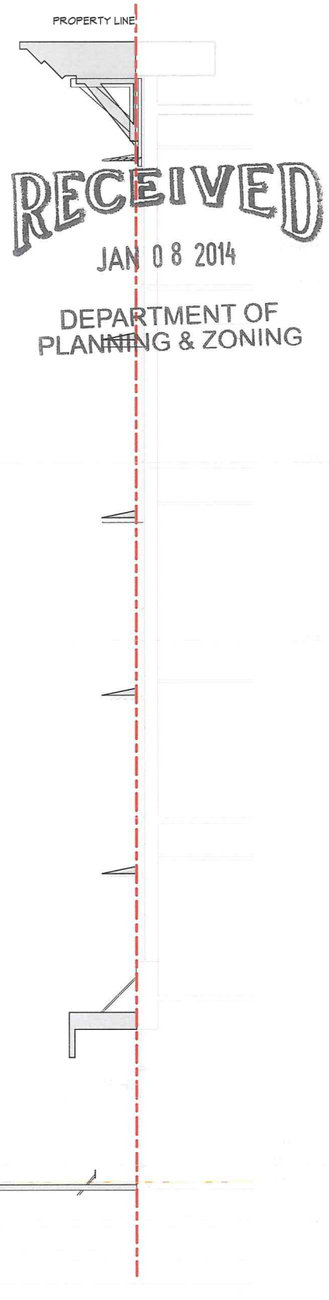
3 BUILDING SECTION 4
1" = 20'-0"



4 BUILDING SECTION 5
1" = 20'-0"

5 BUILDING SECTION 6
1" = 20'-0"

0' 10' 20' 40'



6 WEST WALL SECTION
1/4" = 1'-0"

0' 2' 4' 8'

Eagles Place, LLC

EAGLE'S LANDING APARTMENTS

ST. PAUL STREET, BURLINGTON, VERMONT

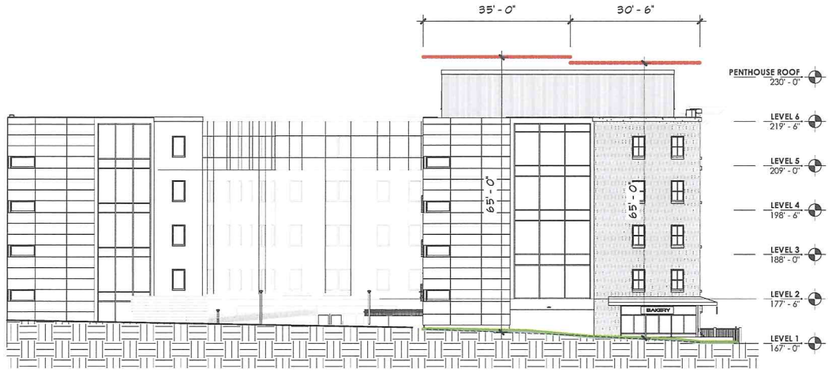
PROPERTY LINE DIAGRAMS

SUBMITTED 12/31/2013

PERMIT APPLICATION SUBMISSION

A3

1 WEST ELEVATION HEIGHT DIAGRAM
1/16" = 1'-0"



2 NORTH ELEVATION HEIGHT DIAGRAM
1/16" = 1'-0"

3 SOUTH ELEVATION HEIGHT DIAGRAM
1/16" = 1'-0"

4 EAST ELEVATION HEIGHT DIAGRAM
1/16" = 1'-0"

5 EAST ELEVATION HEIGHT
1/16" = 1'-0"
0' 8' 16' 32'

RECEIVED
JAN 08 2014
DEPARTMENT OF PLANNING & ZONING

Eagles Place, LLC

EAGLE'S LANDING APARTMENTS

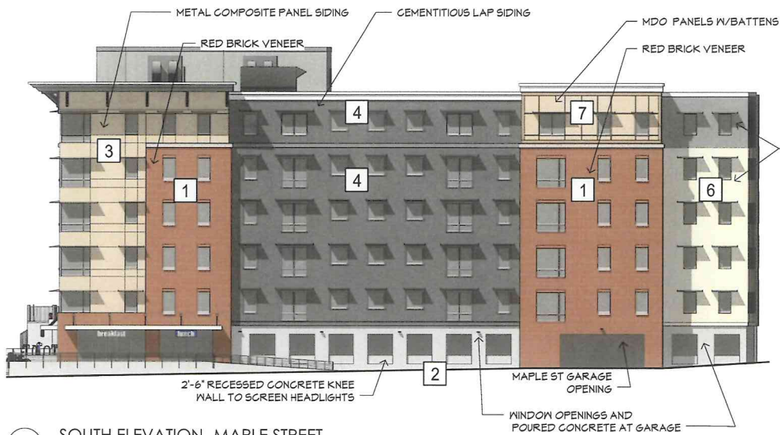
ST. PAUL STREET, BURLINGTON, VERMONT

BUILDING HEIGHT DIAGRAMS

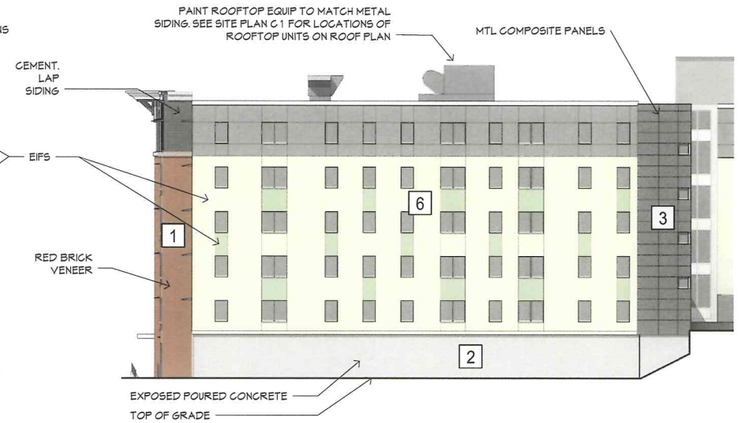
SUBMITTED 12/31/2013

PERMIT APPLICATION SUBMISSION

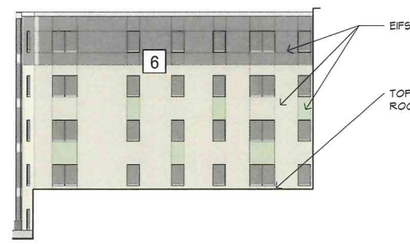
A4



7 SOUTH ELEVATION- MAPLE STREET
1/16" = 1'-0"



6 EAST ELEVATION AT ALLEY
1/16" = 1'-0"

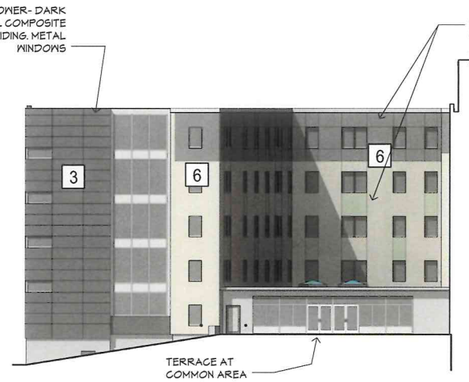


5 WEST ELEVATION ABOVE COMMON AREA
1/16" = 1'-0"

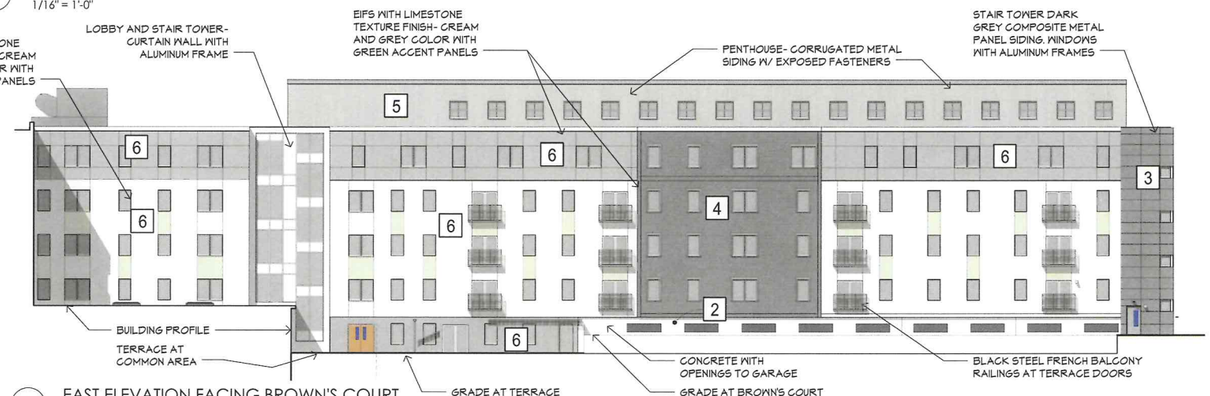
CLADDING KEY:

SEE SHEET A6 FOR WALL ASSEMBLY/ FINISH MATERIALS SCHEDULE

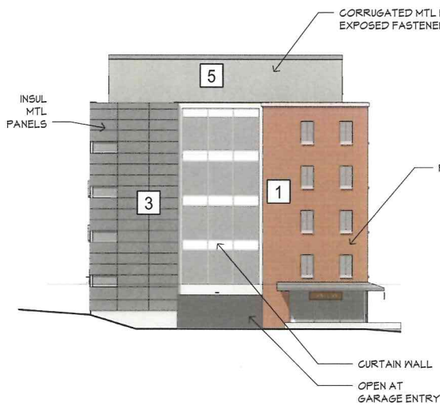
1. BRICK VENEER
2. EXPOSED CONCRETE
3. METAL PANEL
4. FIBER CEMENT HORIZONTAL SIDING- 8" WIDE
5. VERTICAL CORRUGATED METAL SIDING
6. EIFS
7. FIBER CEMENT PANELS & BATTENS



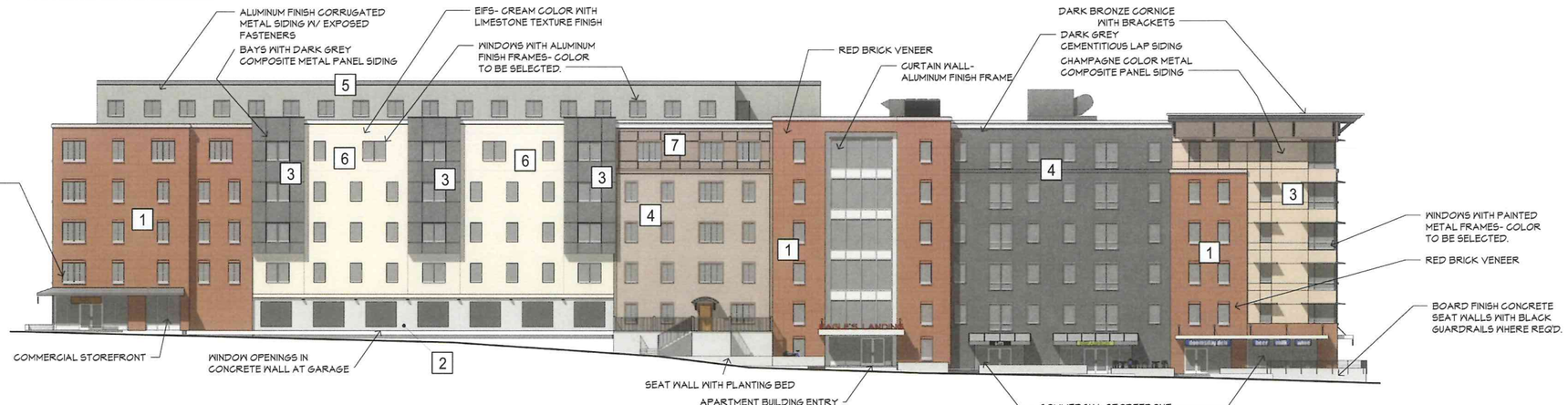
4 NORTH ELEVATION FACING BROWN'S COURT
1/16" = 1'-0"



3 EAST ELEVATION FACING BROWN'S COURT
1/16" = 1'-0"



2 NORTH ELEVATION FACING KING STREET
1/16" = 1'-0"



1 WEST ELEVATION FACING ST. PAUL STREET
1/16" = 1'-0"

0' 8' 16' 32'

Eagles Place, LLC

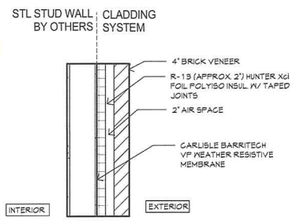
EAGLE'S LANDING APARTMENTS

ST. PAUL STREET, BURLINGTON, VERMONT

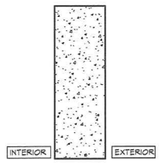
ELEVATIONS WITH MATERIAL KEYS

SUBMITTED 12/31/2013

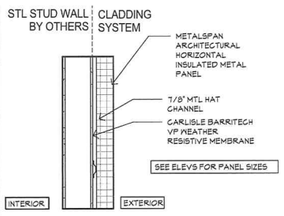
PERMIT APPLICATION SUBMISSION A5



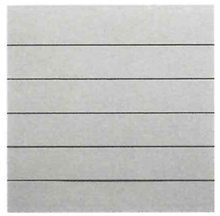
1 BRICK VENEER ON STL STUD
cont. polyiso. insul.

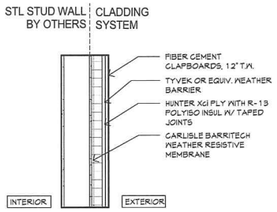


2 EXPOSED BOARD FORMED CONCRETE AT GARAGE
no insulation

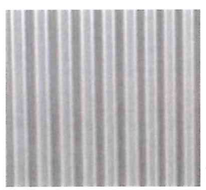


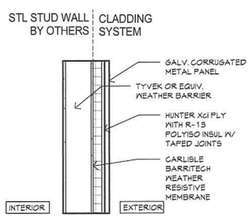
3 METAL COMPOSITE PANEL ON STL STUD
cont. polyiso. insul.



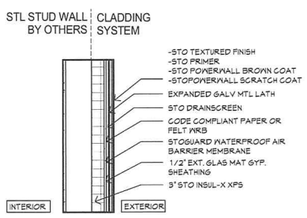


4 FIBER CEMENT CLAPBOARDS
cont. polyiso. insul.





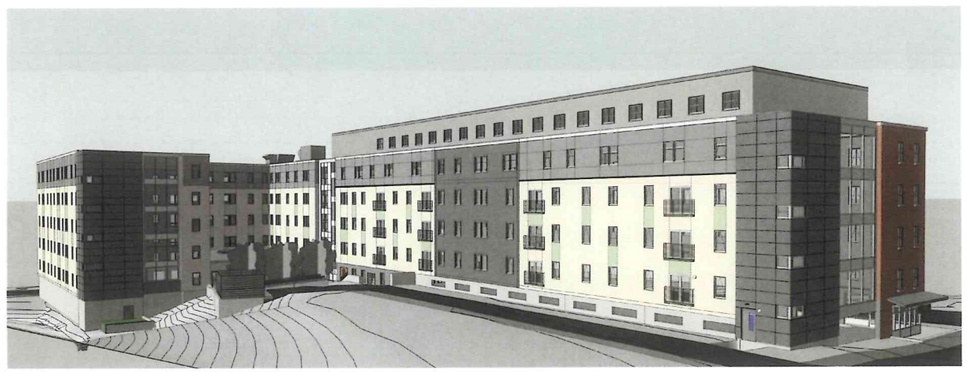
5 VERT CORRUGATED MTL SIDING
continuous polyiso. insul.



6 EIFS ON STL STUD
cont. polyiso insul.

1 Southwest Corner Perspective

2 Northwest Corner Persepctive



3 Northeast Corner Perspective

Eagles Place, LLC

EAGLE'S LANDING APARTMENTS

ST. PAUL STREET, BURLINGTON, VERMONT

WALL ASSEMBLIES / 3D IMAGES

SUBMITTED 12/31/2013

PERMIT APPLICATION SUBMISSION

A6

SHADOW STUDY 9/22/13 9am

SHADOW STUDY 9/22/13 12pm

SHADOW STUDY 9/22/13 3pm

SHADOW STUDY 9/22/13 5pm

1 MAIN TO ADAMS STREET - EAST ORTHOGRAPHIC VIEW

SCALE: 1" = 40' NOTE: EXISTING BUILDING HEIGHTS APPROXIMATED USING GOOGLE EARTH SATELLITE DATA

2 ADAMS TO MAIN STREET - NORTH ORTHOGRAPHIC VIEW

SCALE: 1" = 10' NOTE: DECKER TOWERS STATISTICS FROM WIKIPEDIA

Eagles Place, LLC

EAGLE'S LANDING APARTMENTS

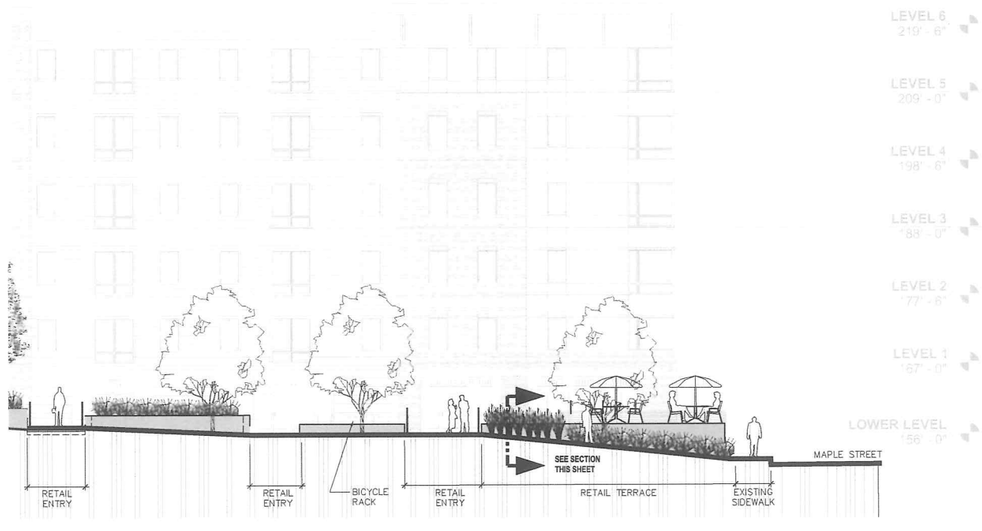
ST. PAUL STREET, BURLINGTON, VERMONT

SITE SECTIONS
12/31/13

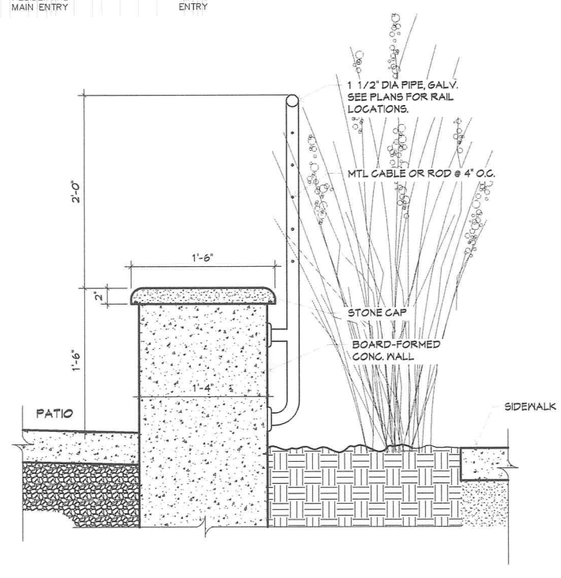
PERMIT APPLICATION SUBMISSION

A9

ELEVATION: WEST FACADE - NORTH END (ST. PAUL STREET)



ELEVATION: WEST FACADE - SOUTH END (ST. PAUL STREET)



SECTION: SEATING WALL & RAILING

Eagles Place, LLC

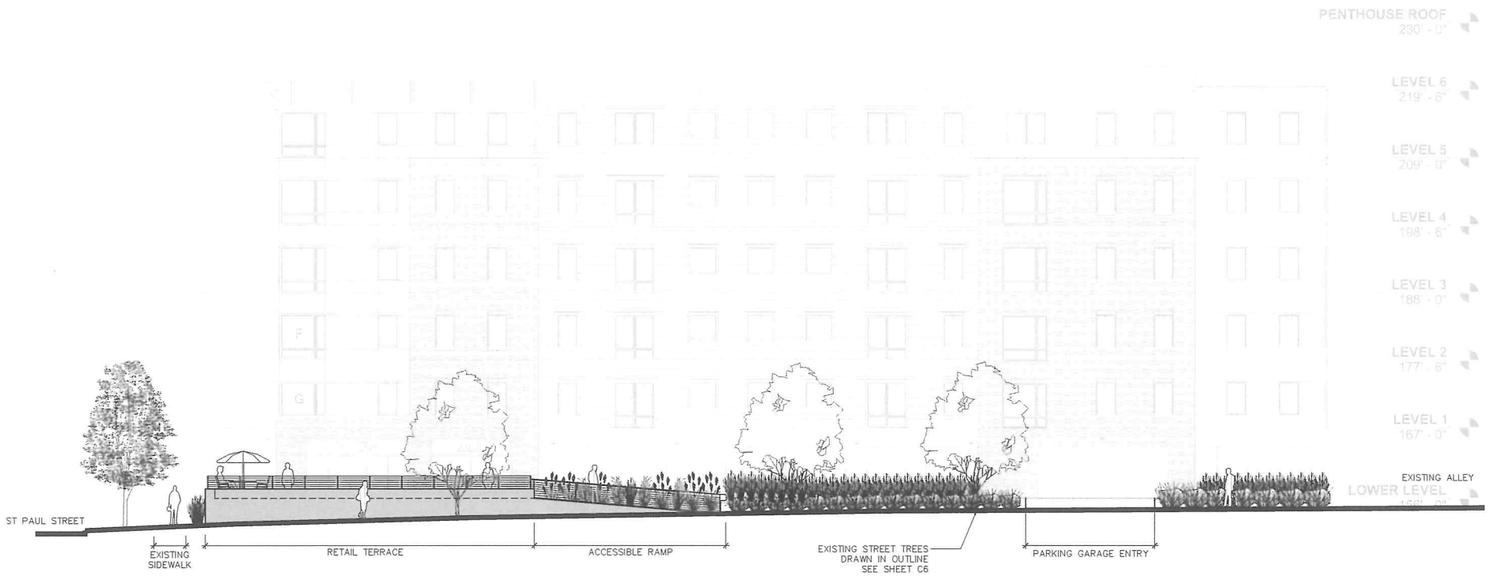
EAGLE'S LANDING APARTMENTS

ST. PAUL STREET, BURLINGTON, VERMONT

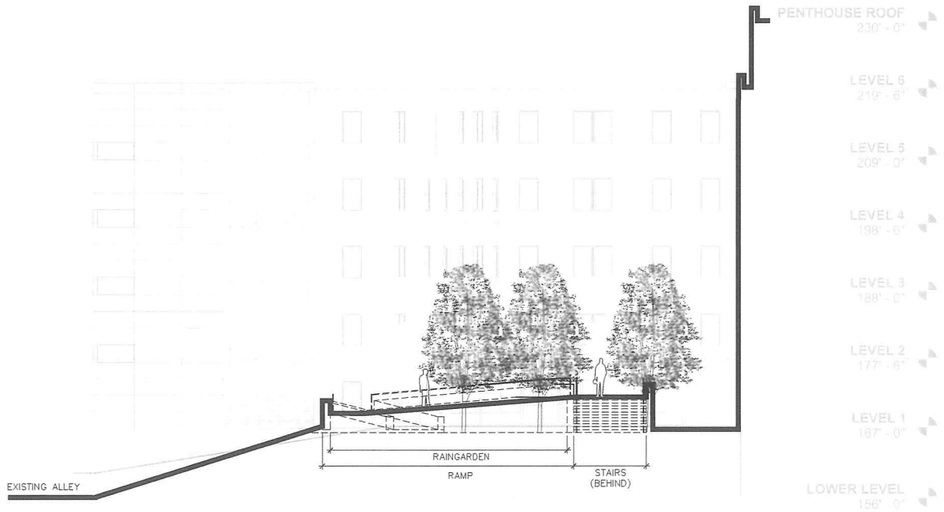
LANDSCAPE ELEVATIONS
(ST. PAUL STREET)
SUBMITTED 12/31/2013

PERMIT APPLICATION SUBMISSION

L1



ELEVATION: SOUTH FACADE (MAPLE STREET)



ELEVATION: NORTH FACADE (BROWN'S COURT)

ELEVATION: NORTH FACADE (KING STREET)

Eagles Place, LLC

EAGLE'S LANDING APARTMENTS

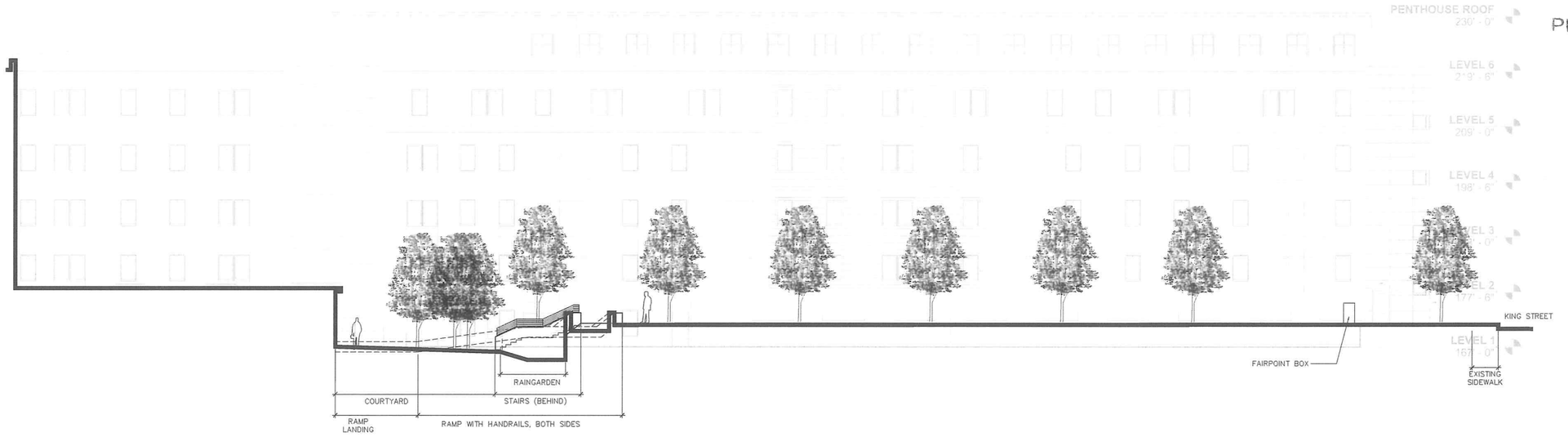
ST. PAUL STREET, BURLINGTON, VERMONT

LANDSCAPE ELEVATIONS
(MAPLE STREET, BROWN'S COURT, KING STREET)

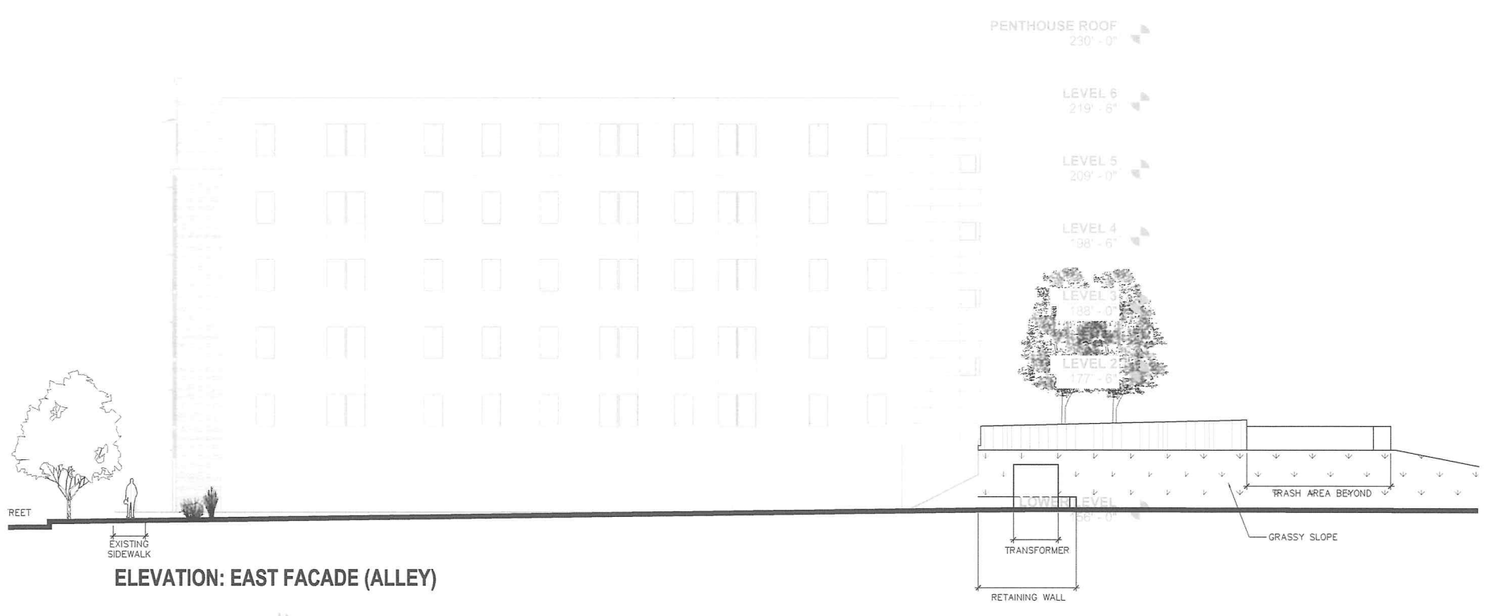
SUBMITTED 12/31/2013

PERMIT APPLICATION SUBMISSION

L2



ELEVATION: EAST FACADE (BROWN'S COURT)



ELEVATION: EAST FACADE (ALLEY)

Eagles Place, LLC

EAGLE'S LANDING APARTMENTS

ST. PAUL STREET, BURLINGTON, VERMONT

LANDSCAPE ELEVATIONS
(BROWN'S COURT, SERVICE DRIVE)
SUBMITTED 12/31/2013

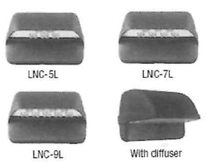
PERMIT APPLICATION SUBMISSION

L3

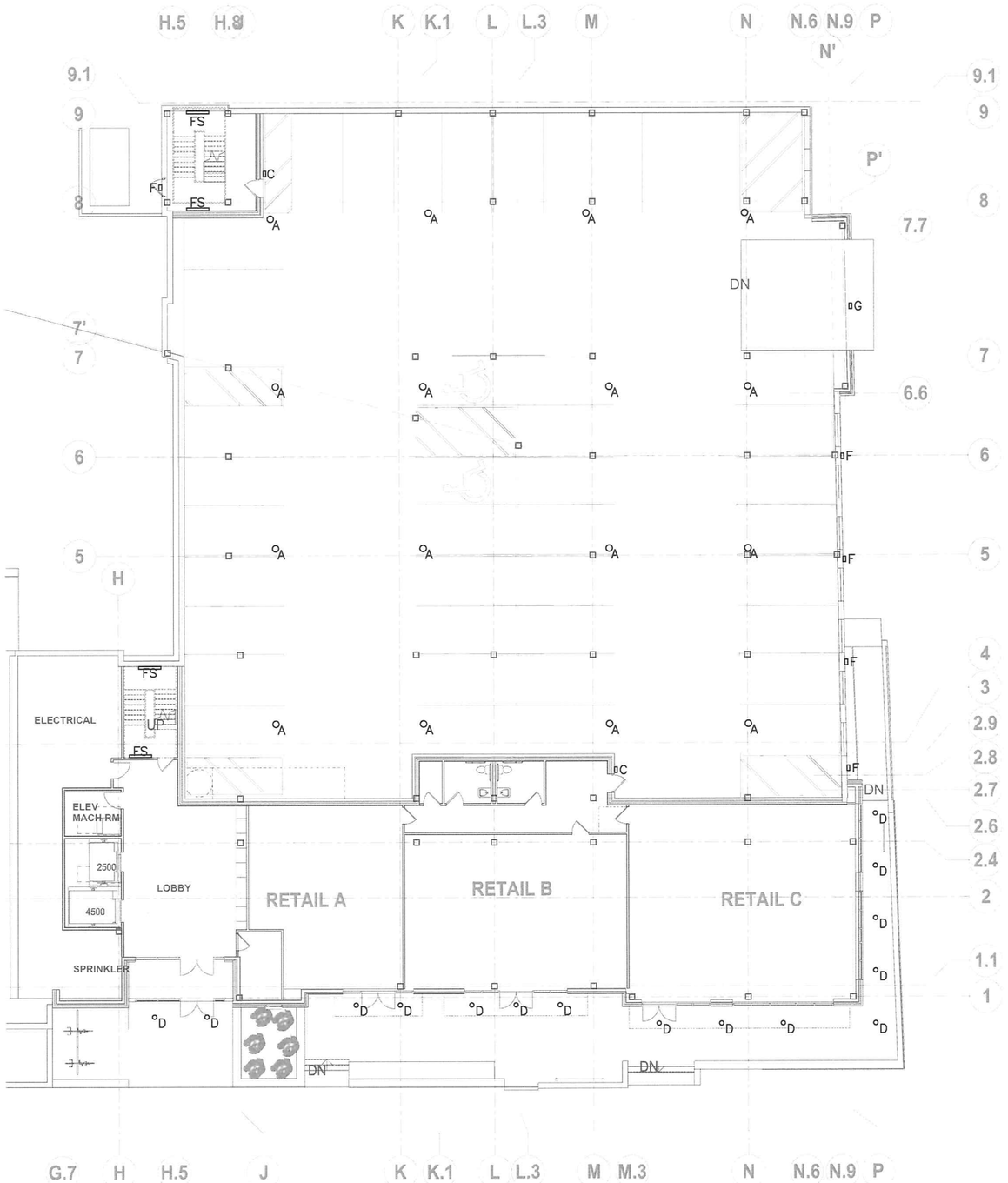
LIGHTING FIXTURE SCHEDULE					
TYPE	MANUFACTURER & MODEL NO.	MOUNTING	LAMPS	VOLTS	REMARKS
A	HUBBELL SCP-18LU-5K-5R-BL	SURFACE	LED	120/277	
B	HUBBELL SCP-18LU-5K-4-BL	SURFACE	LED	120/277	
C	HUBBELL LNC-9LU-5K-3-2	SURFACE	LED	120/277	
D	PRESCOLITE LF6LED-6LFLED5-35K-WT	RECESSED	LED	120/277	
F	LITHONIA OLW14	SURFACE	LED	120/277	
G	LITHONIA OLW31	SURFACE	LED	120/277	
SA	CREE LIGHTING PWY-EDG-5S-P8-02-D-UL-BZ	POLE	LED	120/277	

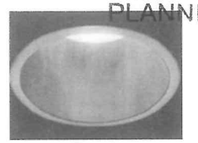
TYPE 'A'

TYPE 'B'



TYPE 'C'





TYPE 'D'

TYPE 'F'

TYPE 'G'

TYPE 'SA'

LOWER LEVEL SOUTH LIGHTING PLAN
SCALE: 3/32" = 1'-0"

HORIZONTAL SCALE IN FEET
8 4 2 1 0 8 16 24 32

Eagles Place, LLC

EAGLE'S LANDING APARTMENTS

ST. PAUL STREET, BURLINGTON, VERMONT

LOWER LEVEL PARKING GARAGE LIGHTING PLAN

11/27/13

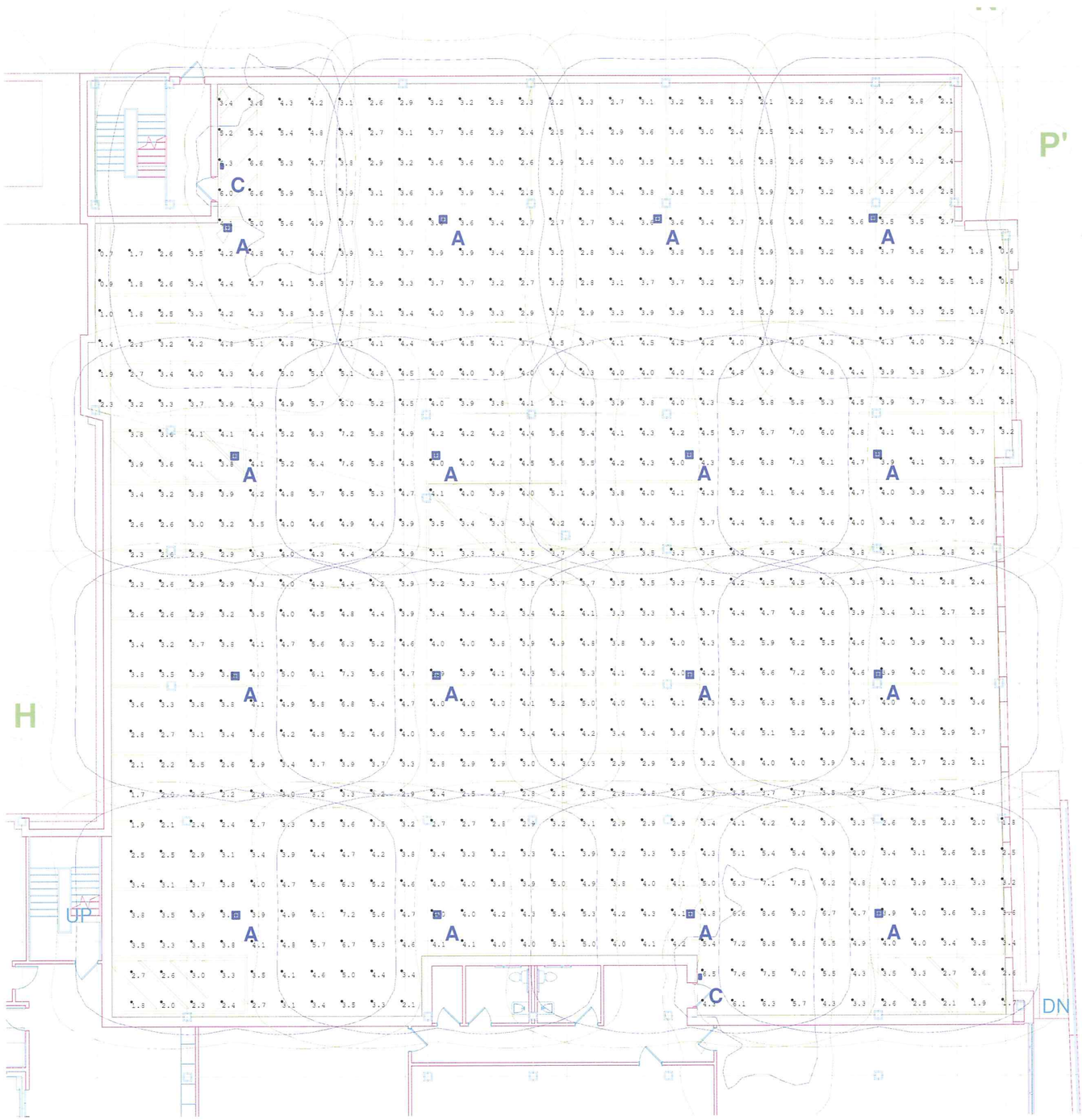
PERMIT APPLICATION SUBMISSION

E2.0S

Luminaire Schedule			
Symbol	Qty	Label	Description
	16	A	SCP-18LU-5K-5R
	2	C	LNC-9LU-5K-3

Type A

Type C



SWANEY LIGHTING ASSOCIATES, INC.
15 Pleasant Hill Rd
P.O. Box 1597
Scarborough, Maine 04070
email: swaneylighting.com
ph: 207-883-7100
fax: 207-885-9605

DEPARTMENT OF PLANNING & ZONING

RECEIVED
JAN 08 2014

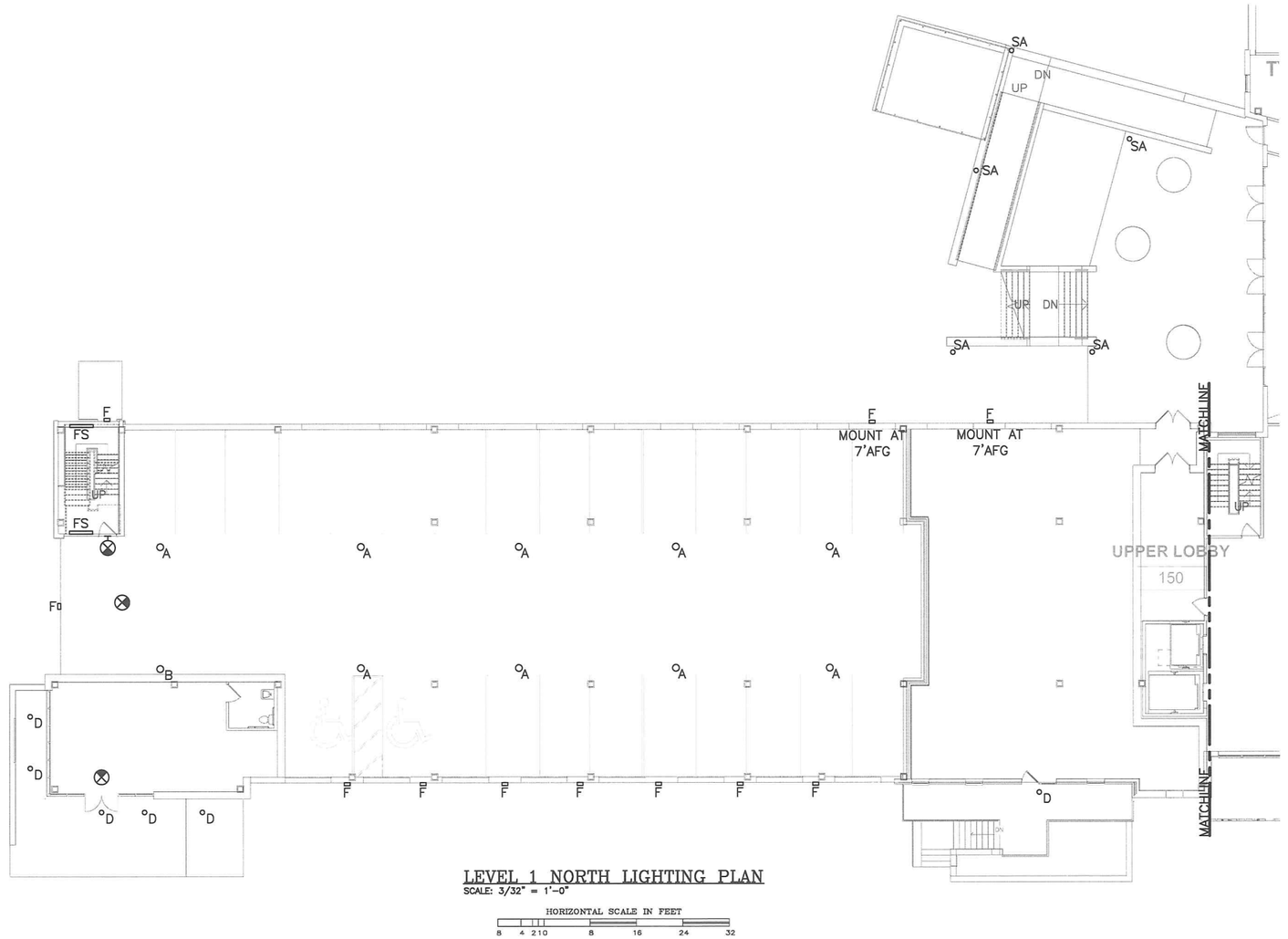
#	Date	Comments

Revisions

Drawn By: Dave Charron
Date: 11/21/13

Not to Scale

Eagle's Nest Housing



LEVEL 1 NORTH LIGHTING PLAN
SCALE: 3/32" = 1'-0"

HORIZONTAL SCALE IN FEET
8 4 2 1 0 8 16 24 32

Eagles Place, LLC

EAGLE'S LANDING APARTMENTS

ST. PAUL STREET, BURLINGTON, VERMONT

LEVEL 1 PARKING GARAGE LIGHTING PLAN

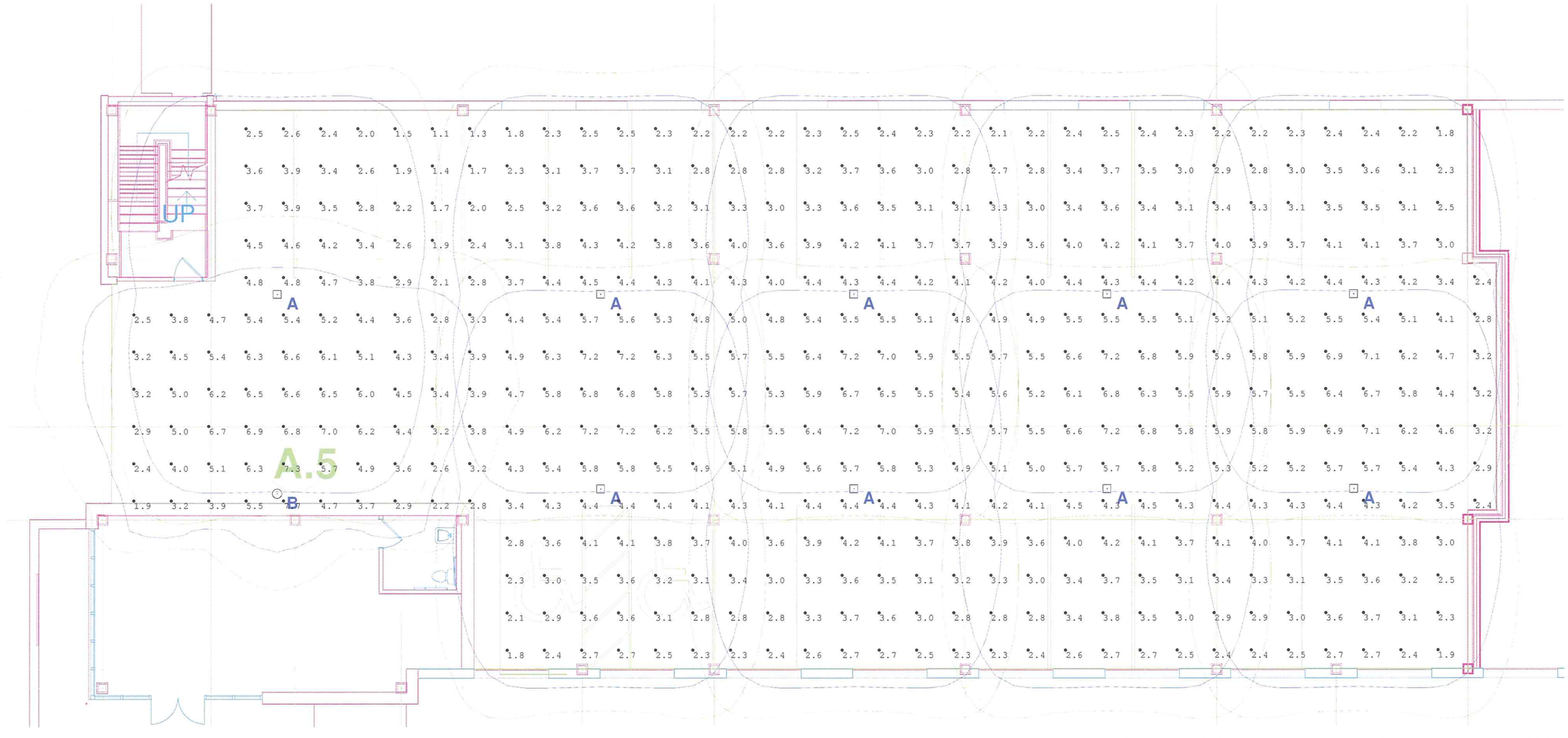
11/27/13

PERMIT APPLICATION SUBMISSION

E2.1N

Luminaire Schedule			
Symbol	Qty	Label	Description
▭	9	A	SCP-18LU-5K-5R
⊙	1	B	SCP-18LU-5K4

Type A and B



SWANEY LIGHTING ASSOCIATES, INC.
15 Pleasant Hill Rd
P.O. Box 1597
Scarborough, Maine 04070
email: swaneylighting.com
ph: 207-883-7100
fax: 207-885-9605

#	Date	Comments
Revisions		

Drawn By: Dave Charron
Date: 12/18/13
Not to Scale

Eagle's Nest Housing